

PLANNING & ENVIRONMENT ACT 1987  
WHITTLESEA PLANNING SCHEME  
Planning Permit No: 718020  
Application Ref. No.: PLN-46070  
Endorsed to show compliance with Condition (s) 5  
Sheet 1 of 26 Date: 29/04/2026

# DESIGN GUIDELINES



Version 4.0 - March 2026  
Subject to council approval

[myriverhills.com.au](http://myriverhills.com.au)



The Ridge  
at Riverhills



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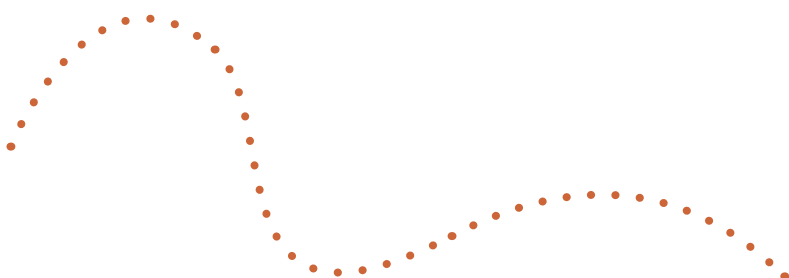
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# TAKE THE HIGH GROUND

Riverhills establishes a serenity that can never be compromised, with the 220 hectare Quarry Hills Bushland Park expanding further to ensure every dwelling is no more than 200 metres from parkland.

Explore the creek reserve and the quiet beauty of the trees. Savor the views. And let yourself soar. Part of the City of Whittlesea, Wollert's natural beauty has seen it attract increasing interest from those who aspire to something truly different. All within minutes of life's necessities, and just 25 kilometers from the CBD of Australia's most livable city, Melbourne.



Riverhills has been conceived to ensure a harmonious dialogue between the existing natural environment and new built forms. To drive a premium design outcome, its approach is built upon three key pillars:

### Environment & Sustainability

Each Riverhills home is to be located within 200m of parkland, built in such a way as to acknowledge and respect the key natural elements of the geography, including the natural watercourse of Darebin Creek and the flora and fauna the area is populated by. The nearby Quarry Hills Park is to be expanded, preserving the uniquely natural qualities of the site.

### Social & Community

Riverhills will be an integrated community established along the banks of a natural watercourse, consisting of a variety of lot locations of different elevation and size connected to one another by interconnected parkways. It will include a sensitively landscaped waterside commons to encourage greater health, wellbeing and connection within the community.

### Heritage & Culture

Riverhills acknowledges the long history of the region, honouring it as a site of significance for traditional owners and early settlers, as well as an important site of regional industry that contributed greatly to Melbourne's fortunes across various stages of its development.



Artist Impression

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# 1. Purpose of the guidelines

To achieve a high quality of design and construction at Riverhills, specific safeguards have been implemented by Dahua to protect the interests of residents.

The Design Guidelines serves as reassurance for residents expecting a high quality of built form and encouraging consistency between neighbouring dwellings. The Design Guidelines may be amended from time to time at the developer's discretion and with the consent of Council to reflect changes in design and building trends and/or amendments to legislation affecting building approvals.

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**PLEASE NOTE:**  
The Design Guidelines are to be read in conjunction with the Plan of Subdivision (POS) restrictions and Memorandum of Common Provisions (MCP).  
The Design Guidelines are subject to endorsement by Council.



## 2. Design approval process

The Design Review Panel (DRP) will assess each submitted design against the Riverhills Design Guidelines. If the proposal complies with the requirements, the DRP will issue a Notice of Developer Approval. If the proposal does not comply, the applicant will receive an amendment request outlining the aspects of the design that require revision to achieve compliance.

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The design review panel will endeavour to complete the design review process in the shortest possible time and generally will provide a response within 10 business days of receipt of a fully completed proposed design that plans comply with such requirements.

## Process flow



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The following documents must be submitted to the DRP:

- i. Site plan (scale 1:200)
- ii. Floor Plans (minimum scale 1:100)
- iii. Elevations (minimum scale 1:100)
- iv. Detailed Front Landscape Plan
- v. External Colour Selection

Riverhills Design Review Panel, Finnis Communities  
 E: riverhills@finnis.com.au

It is the responsibility of the purchaser/builder/Relevant Building Surveyor (RBS) to ensure compliance with any applicable statutory requirements (such as current Building Regulations and planning requirements). Approval from the DRP is not an endorsement that plans comply with such requirements.

**5. Building permit application**

The land owner is responsible for submitting a building permit application including Finnis' design approval to the relevant building surveyor to obtain a building permit.  
  
 Town planning approval from council may also be required.

**6. Construction**

Commence construction once a building permit has been obtained



**7. Complete construction**

Certificate of occupancy must be obtained from the building surveyor prior to occupancy.



**8. Extensions & outbuildings**

Any proposed extensions or outbuildings which were not included within the original submission to the design review panel require approval & may also require relevant authority approval.  
  
 It is the responsibility of the applicant to ensure the full approval process is followed.



**What does the design review panel check against?**

The building surveyor's assessment includes but is not limited to:

- All local, state & national building regulations
- Applicable building envelopes/restrictions in POS/MCP
- Rescode
- Small lot housing code
- National construction code



**NOTE:**

Any amendments to previously approved plans, and any proposals to construct verandahs, carports, sheds, or similar structures, must be submitted for review to the DRP. All such submissions are subject to a fee.

### 3. Solar access & energy efficiency

All dwellings must comply with the minimum energy rating requirements set out in the National Construction Code of Australia.

To achieve this, early consideration should be given to factors such as solar orientation, floor plan layout, external materials, glazing design, shading devices, insulation, thermal mass, solar hot water systems, water storage, and grey water re-use.

An Energy Rating Certificate must be provided prior to obtaining a Building Permit. For further information and tips on energy efficiency, visit [sustainability.vic.gov.au](http://sustainability.vic.gov.au).

#### Requirements:

- a. Light to medium roof colours are recommended to reduce heat absorption and associated energy costs.
- b. All homes must incorporate environmentally sustainable design initiatives, which may include (but are not limited to): double glazing, water tanks (if required), eave overhangs, passive cooling systems, sustainable building materials, and solar panels.

Rebates may be available.

Check at: [solar.vic.gov.au/solar-panel-rebate](http://solar.vic.gov.au/solar-panel-rebate)

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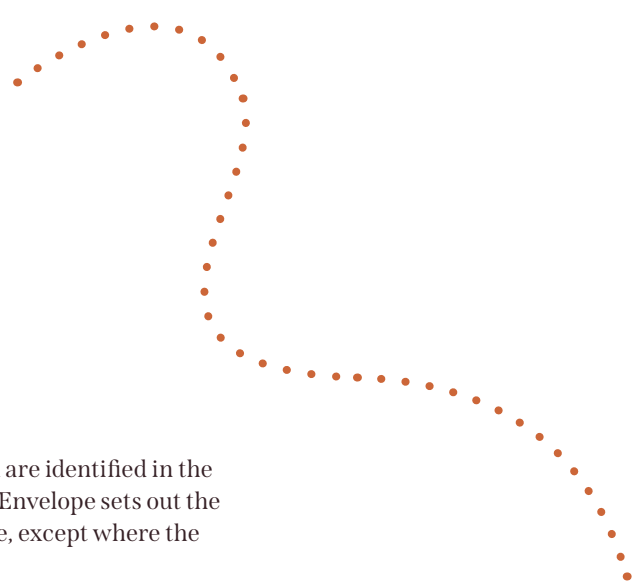


North facing floor plan example courtesy of Carlisle Homes

### 4. Setbacks

Building Envelopes have been established for certain lots and are identified in the relevant Memorandum of Common Provisions. The Building Envelope sets out the required boundary setbacks and siting controls for your home, except where the Plan of Subdivision includes additional restrictions.

Front entry porches, porticos and verandahs may project up to 1.0m into the nominated front setback. All setbacks must comply with the Building Envelope, and where a setback is not specified, the requirements of ResCode will apply.



## 5. Dwelling design

Dwelling designs that demonstrate a contemporary and high quality architectural response will help establish the desired neighbourhood character for Riverhills

### Requirements:

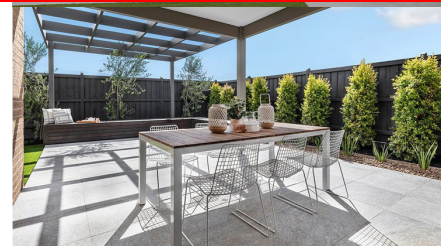
- a. Front elevations must incorporate windows and architectural features such as verandahs, projections, varied roof forms and materials to provide visual interest and address the street frontage. Large, blank or unarticulated walls are not permitted.
- b. Double storey homes must include articulation between the ground and first floor. This can be achieved through setbacks, changes in building form, or recessed or projecting elements such as balconies.
- c. Sliding windows are not permitted on front elevations or on elevations facing a road or reserve.
- d. The main entry must be located on the front elevation and oriented toward the primary street frontage.
- e. Dwellings adjoining and with views too open space or landscape reserves are encouraged to include porches, verandahs, balconies or pergolas that are large enough for practical use and promote outdoor living and street interaction. Lightweight materials are preferred.
- f. Pitched roofs including 450mm eaves are encouraged.
- g. Hipped roofs must be pitched at 20° - 30°.
- h. Alternative roof forms, such as skillion or flat roofs and gable features, may be used where they are well designed and suit the overall form and style of the home.

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Example of outdoor living spaces with practical use



Image courtesy of Boutique Homes



Images courtesy of Metricon Homes



Images courtesy of Carlisle homes

# 6. Sloping Lot/Housing Design Guidelines

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## 6.1 Introduction

### Application of the sloping guidelines

The objectives, controls and desired outcomes described within this Design Guidelines Summary apply to all lots within Permit Area 3. To help homes sit appropriately on the land and minimise excessive earthworks, lots have been grouped based on how slope is to be managed.

### Conventional Lots

There are three land types for conventional lots:

- Flat Lot: < 0.5m across lot+ minimal retaining at boundary if required.
- Retained Lot: 1.0m - 1.5m retaining wall at shared lot boundary
- Split Level Home: average of 2.5m level change within home design

### Townhouse and Medium Density Lots

There are two land types for townhouse and medium density lots:

- Retained townhouse: 1m retaining wall at front boundary and up to 1m within home/lot
- Split level integrated MD Site: average of 2.5m level change within home design/retaining at front of lot

The final lot levels and extent of slope applicable to each lot will be confirmed/ included in the Contract of Sale.

Some areas within Riverhills require homes to be designed in response to the natural slope of the land. These Housing Design Guidelines aim to ensure that slope is effectively managed within each individual lot. Their purpose is to minimise the need for additional cut or fill, reduce the height of any retaining walls, particularly along the dwelling frontage, and promote alternative design solutions where necessary to achieve an appropriate and functional built outcome. The following examples illustrate the preferred design outcomes for these lots.

The Sloping Lot Housing Design Guidelines Summary has been prepared to prevent design outcomes that create poor interfaces with the public realm or neighbouring properties, and to minimise additional earthworks. Dwelling designs that result in such outcomes, as illustrated below, will not be permitted.

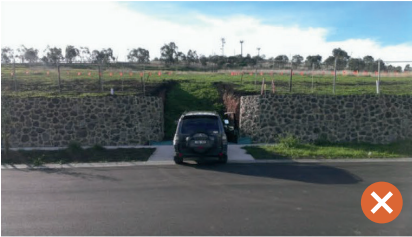
## Lot Access

### The objectives

- Ensuring accessible lots/homes and safe access;
- Limiting the impact of driveways on streetscapes/public amenity;
- Minimising the grade of driveways and paths to the home.

### Requirements

- a. Driveway gradients should not exceed 20% (1:5). Steeper gradients of up to 25% (1:4) may be considered where the home design demonstrates strong architectural merit and contributes positively to the streetscape.
- b. Driveways and garages should be located on the low side of the lot or dwelling to minimise earthworks and construction on steep grades.
- c. A separate pedestrian path, which may include steps, must provide direct access from the street or public footpath (and letterbox) to the dwelling.
- d. The ground floor level, including the front entry and any habitable rooms overlooking the street, must be at or above the level of the adjoining street or public footpath.



High retaining walls with steep driveways



Majority of homes with no capacity to park in driveway



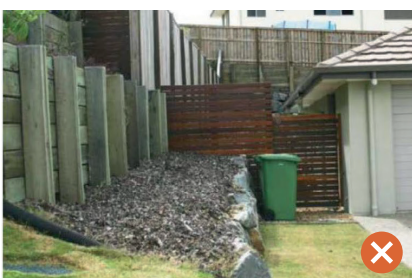
Flat pad on significant cross fall with no retaining



House in a hole



Multi-layered retaining walls with excessive batters towards the street



Issue of overlooking and overshadowing



## 6.2 Retaining Walls

### Objectives

- Contributing positively to the streetscape;
- Defining the boundary of private properties/public interfaces;
- Enabling suitable buildable area on residential lots.

### Requirements

- Retaining walls facing a street, open space, or any area visible from the public realm should not exceed 1.0m in height (refer to Figure 4).
- Staggered retaining walls visible from public spaces may be permitted up to a maximum height of 2.0m, provided they are designed in accordance with Figure 5. Landscaping between each portion of staggered wall is required.
- Retaining walls along side or secondary street boundaries may exceed 1.0m (up to 1.5m) if designed in accordance with Figure 6. Any 1.8m fencing above the wall must begin at least 5.0m behind the primary building line.
- Where a retaining wall is located on a boundary between lots, it should be set back at least 1.0m from the dwelling or integrated into the building design.
- Interlot retaining walls must include 1.8m fencing integrated with the retaining structure (refer to Figure 7).
- Retaining walls should be coordinated with landscaping, site access, and infrastructure requirements, including drainage, services and driveways.
- Retaining walls visible from public spaces must be constructed of stone.
- Retaining walls not visible from public spaces may be constructed of concrete sleepers, stone, or similar materials.
- Fencing is required for any retained wall above 1.0m in height

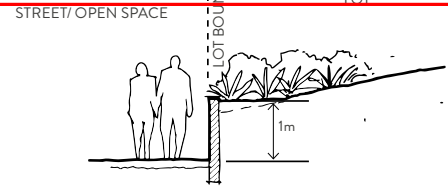


Figure 4 | Retaining Wall: Street/ Open Space Interface

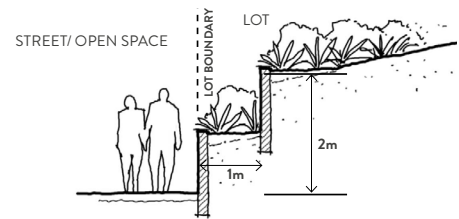


Figure 5 | Retaining Wall: Street/ Open Space Interface [Alternate]

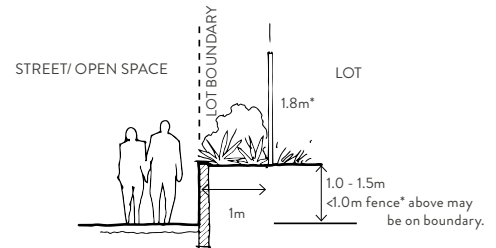


Figure 6 | Retaining Wall/ Side Fence: Secondary Street Interface

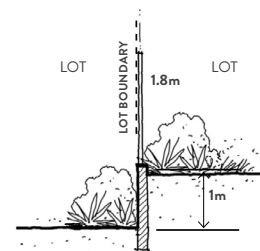
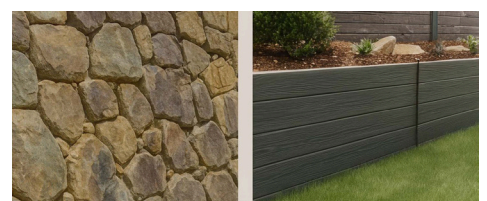
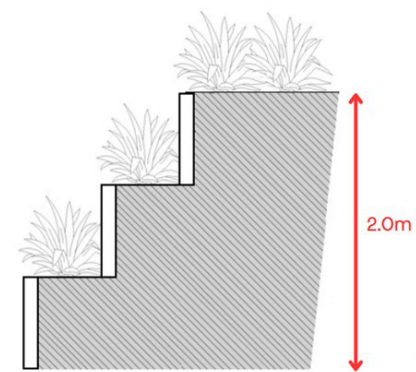


Figure 7 | Retaining Wall/ Side Fence: Interlot



### 6.3 Specific Guidelines

To ensure dwellings respond appropriately to the landform, an integrated approach to housing, landscape and earth working is required. The extent of benching and retaining applicable to each lot will be determined prior to preparation of the Contract of Sale to inform the home builders design.

Dwelling designs should also respond to the lot's broader context, outlook and nearby amenity. Orientation and building siting should respond to passive heating and cooling considerations.

Balconies, verandahs and decks are encouraged, particularly where they create usable outdoor spaces with views of key significant landscapes.

Split level homes and framed construction are encouraged within Permit Area 03. Split level dwellings must be carefully designed to reduce overlooking. Upper levels are to be setback from the side boundary to protect privacy and minimise the need for opaque windows, with front entries clearly visible from the street. Garages must be visually recessive and not dominate the streetscape .

Figures 8 to 16 illustrate typical level changes across lots and the preferred design responses. These should be read in conjunction with the guidelines and diagrams from Section 6.1, 6.2.

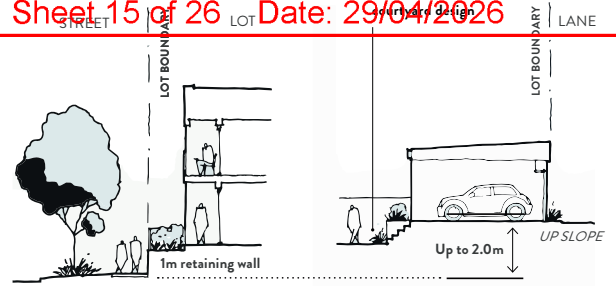


Figure 10 | Slope Response C - Townhouse/ Slab on Grade Home: Front to Back Slope (up to 2.0m)

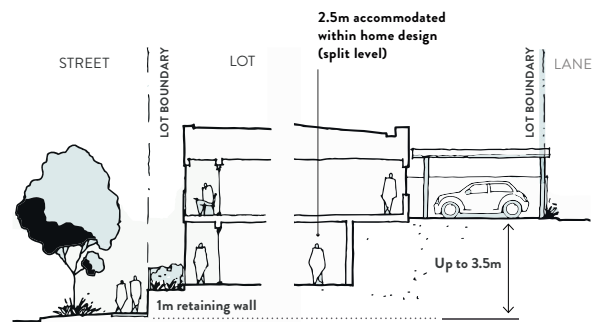


Figure 11 | Slope Response D - Townhouse/ Split Level Home: Front to Back Slope (up to 3.5m)

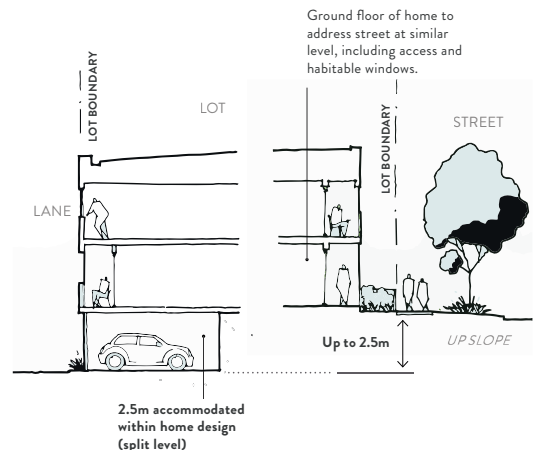


Figure 12 | Slope Response G - Townhouse/ Split Level Home: Back to Front Slope (up to 2.5m)

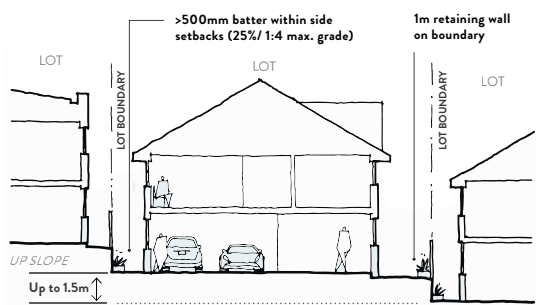


Figure 8 | Slope Response A - Slab on Grade Home: Side to Side Slope (up to 1.5m)

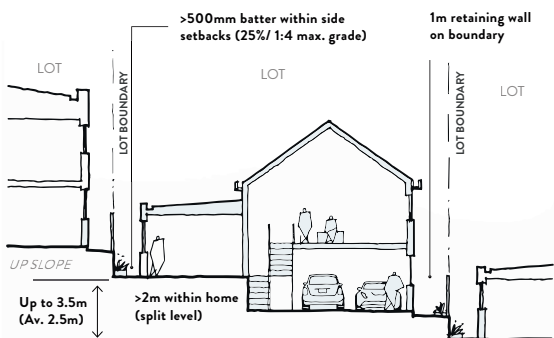


Figure 9 | Slope Response B - Split Level Home: Side to Side Slope (up to 3.5m)

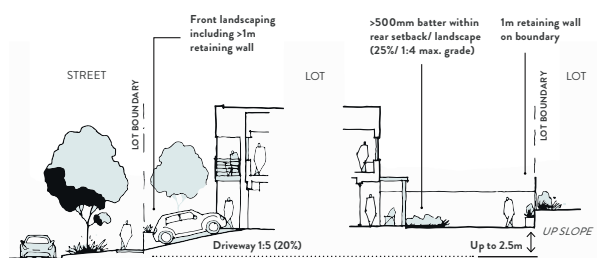


Figure 13 | Slope Response E - Retained Lot/ Slab on Grade Home: Front to Back Slope (up to 2.5m)

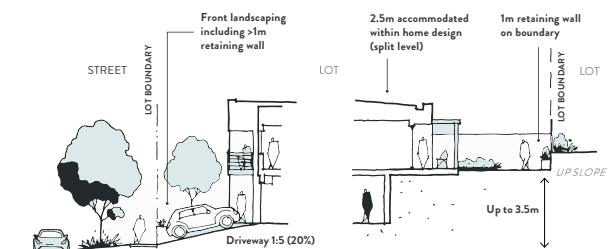


Figure 14 | Slope Response F - Split Level Home: Front to Back Slope (up to 3.5m)

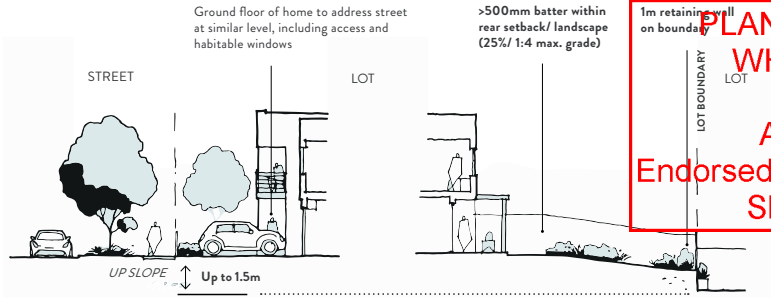


Figure 15 | Slope Response H - Retained Lot/ Slab on Grade Home: Front to Back Slope (up to 1.5m)

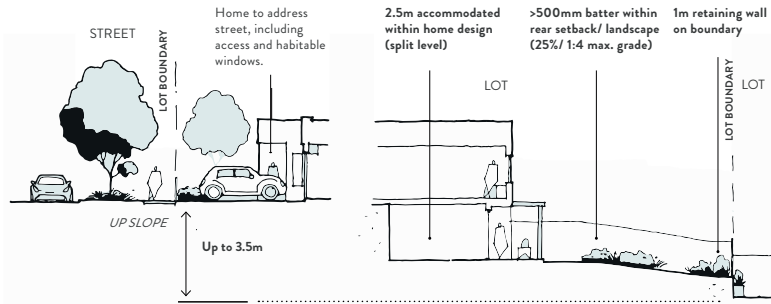


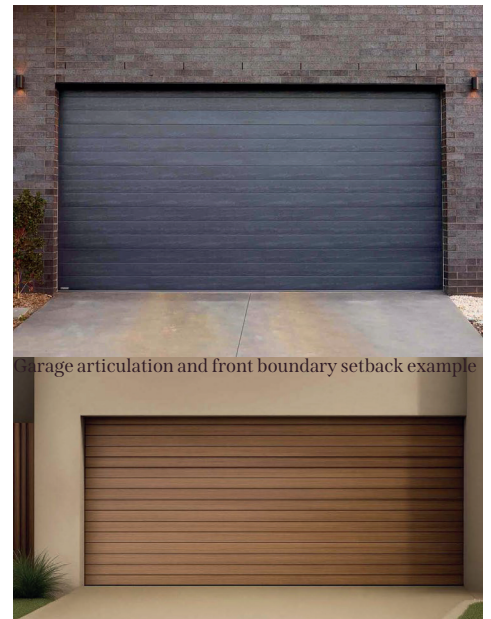
Figure 16 | Slope Response I - Split Level Home: Front to Back Slope (up to 3.5m)

## 7. Garage design

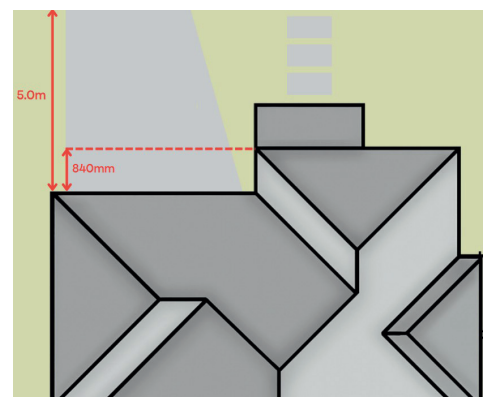
The location and design of garages and garage doors must make a positive contribution to both the dwelling's design and the overall streetscape character.

### Requirements

- a. All lots must include vehicle accommodation in the form of an enclosed garage.
- b. Garages must not dominate the facade and must feature a panel lift, tilt or sectional door to the street frontage. Windows to garages are not permitted.
- c. Lots with a frontage greater than 10m can provide a double garage. The maximum width of a double garage door is 6.0m.
- d. Lots with a frontage less than 10m must provide a single garage of 3.3m only.
- e. Garages must be set back at least 840mm behind the front dwelling wall and a minimum of 5.0m from the front boundary.
- f. Garages located on a side street elevation of a corner lot will be assessed individually by the DRP and must comply with all applicable setback and car parking requirements.
- g. Only one garage and one vehicle crossover is permitted per lot.



Garage door examples:



# 8. Corner lots

## 8.1 All corner lots

Homes on corner lots must be designed to reflect their visibility within the streetscape and contribute to an attractive, cohesive and safe residential environment. Thoughtful corner treatments enhance both the appearance and functionality of a dwelling. With well placed windows, articulated facades and varied materials, corner lots can become distinctive features that strengthen the overall character of the neighbourhood.

### Requirements:

- a. Side elevations facing a road or reserve must include detailing that matches and complements the front elevation as part of the corner treatment. This treatment must extend at least 2m along the secondary frontage or to the point where the side fence returns to the dwelling.
- b. Window/s must be incorporated within the corner treatment to enhance visual interest and passive surveillance.
- c. Locating bathrooms or laundries on ground floor corner elevations is discouraged.
- d. Refer to Section 12 for the specific requirements relating to corner lot fencing.

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### Requirements

For any corner lot, the wall of an upper floor (first floor or above) that faces the side street must either:

- Be set back a minimum of 900mm from the ground floor wall below or;
- Include at least 30% glazing.

The remaining wall area must be finished in contrasting materials to those used on the ground floor facade.



## 9. Lots adjoining open space

### Requirements:

Lots with a side elevation directly adjoining open space must comply with the following requirements:

- The development consists of a double storey dwelling;
- The development includes passive surveillance features such as large windows and/or balconies at the first storey level overlooking the adjoining open space; and
- Any fencing of the front yard adjoining the open space is feature style, with minimum 25% transparency and has a maximum height of 1.5m.
- Habitable rooms and openings should face the drainage reserve.
- Locating bathrooms and laundries on ground floor corner elevations is discouraged.
- Fencing along a side boundary which directly abuts a reserve must not extend for more than 60% of the total length of the lot.

Lots 1001, 1016, 1023, 1101, 1110, 1118, 1211, 1225, 1226, 1232, 1301 and 1306 require the below as outlined on the Plan of Subdivision:

Side elevations facing a reserve must include sufficient detailing which matches and complements the design of the front elevation ('corner treatment'). This must wrap around the side facade for at least 5m or to the point where the side fence returns to the dwelling.

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## Facade variation

Facade variation requirements ensure that no two neighbouring homes appear identical or overly similar,

helping to create a visually interesting and diverse streetscape.

### Requirements:

Two dwellings with the same or overly similar front facade must not be built within four lots of each other. This includes lots either side, opposite, and any adjoining street frontages where applicable. See below diagram for examples of acceptable configurations.



### NOTE:

This provision does not apply to townhouse or medium density developments on lots less than 300m<sup>2</sup>.

## 11. Building colours & materials

A key element in maintaining a high quality residential character is the thoughtful use of external materials, colours and finishes. The careful selection of high quality, durable materials reduces long term maintenance and weathering impacts, ensuring homes maintain visual cohesion and lasting appeal throughout Riverhills.

### Requirements:

- a. A minimum of two materials must be used on the facade. No single material may comprise more than 70% of the facade. This requirement applies to all front elevations and any elevation facing a street or reserve.
- b. Preferred materials include:
  - Face brickwork
  - Rendered lightweight cladding or masonry
  - Weatherboard or fiber cement cladding (such as Scyon) in contemporary, clean line styles. Where used, these materials must not exceed 50% of an elevation
  - Timber cladding
  - Selective use of stone or tile cladding.
  - Metal corrugated roofing is encouraged. Masonry, slate or terracotta tiles are also permitted.
- c. Roofs must be finished in neutral, subdued colours, with light to medium tones preferred.
- d. Garage doors must complement the dwelling's overall design and colour scheme. A natural timber tone or finish is preferred.
- e. External colours must consist of muted, natural and earthy tones and low-reflective colours and materials that blend with the surrounding landscape.
- f. External windows and doors must not include reflective, frosted, coloured or patterned film unless specifically approved by the DRP.
- g. Security shutters, sunblinds, shade sails and canvas awnings are not permitted where visible from public areas.

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NOTE  
Items such as the roof, garage door or windows cannot be included as a second material.



# 12. Fencing

Consistent style and positioning of fencing throughout a community forms a common link which enables the streetscape to interact as a whole and emphasises individual characteristics of each dwelling.

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NOTE:  
 Hedges or short shrubs may be planted to define the property boundaries.

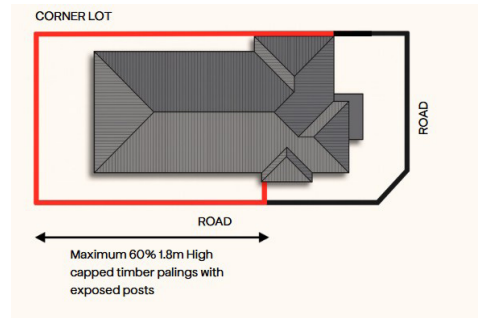
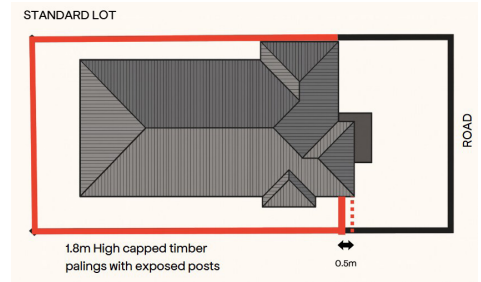
**Requirements:**

- a. Side and rear boundary fencing must be constructed from capped timber palings with exposed posts.
- b. Side and rear boundary fencing must be 1.8m in height, constructed using 125mm x 75mm posts with 2.4m post spacing.
- c. Side boundary fencing must stop at least 0.5m behind the front facade. Fencing is not permitted along the side boundaries in the front yard.
- d. No residential lot may include a front fence except with the written consent of the Responsible Authority (council).
- e. Side boundary fencing must return at 90° to abut the dwelling or garage wall. It needs to be setback at least 0.5m behind the front facade. These fences, including any gates, must be constructed from capped timber palings with exposed posts to match the boundary fencing, or from a complementary timber style such as merbau slats. Return fences/gates must be set back to allow access to meter boxes.
- f. Corner lots: Fencing along a side boundary which abuts a road must not extend for more than 60% of the total length of the lot.
- g. Short hedges or low level shrubs may be planted to define the property boundary where a fence does not exist. An indigenous species selection is preferred.
- h. Lots with side boundaries adjoining open space or reserves must apply fencing treatments consistent with those specified for corner lots unless otherwise specified in the Plan of Subdivision.
- i. All fencing must be completed prior to occupancy.

Lots 1001, 1016, 1023, 1101, 1110, 1118, 1211, 1225, 1226, 1232, 1301 and 1306 require the below as outlined on the Plan of Subdivision:

Fencing along a side boundary which directly abuts a reserve must not extend for more than 60% of the total length of the lot.

- i. Side boundary fencing must return at 90 degrees to abut the dwelling.
- ii. Fencing must be constructed from timber material and be of a neutral or muted colour
- iii. Short hedges may be planted to define the property boundary where a fence does not exist



# 13. Driveways

Driveways must be constructed in materials and colours that complement the dwelling facade, using subdued, natural tones.

DRP approved driveway finishes:  
**PLANNING & ENVIRONMENT ACT 1987**  
**WHITTLESEA PLANNING SCHEME**  
 Planning Permit No: 718020  
 Application Ref. No.: PLN-46070  
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### Requirements:

- a. The driveway width may match the width of the garage and must taper towards the front boundary to generally align with the width of the crossover. Excessive concrete coverage within the front yard is not permitted.
- b. Permeable materials are encouraged, excluding loose materials such as gravel.
- c. Permitted driveway finishes include:
  - i. Exposed aggregate
  - ii. Pavers
  - iii. Stamped or stenciled concrete
  - iv. Coloured concrete consistent with the streetscape pavement.
- d. Driveways must have a matte finish. Glossy or reflective surfaces are not permitted.
- e. Only one driveway is permitted per lot.
- f. The driveway must be completed within 30 days of receiving the Certificate of Occupancy.



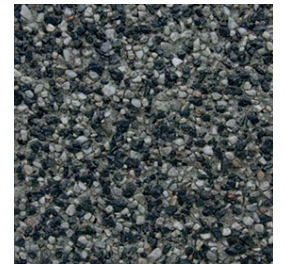
Coloured concrete



'Crazy stone' pavers



Bluestone pavers



Exposed aggregate

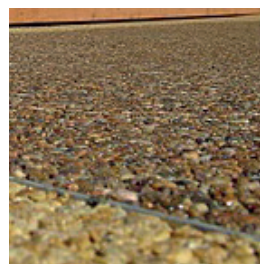
### DRP approved permeable driveway:



Pavers in gravel bed



Grass pavement



Resin bound stone paving



TurfGrid or EcoTrihex



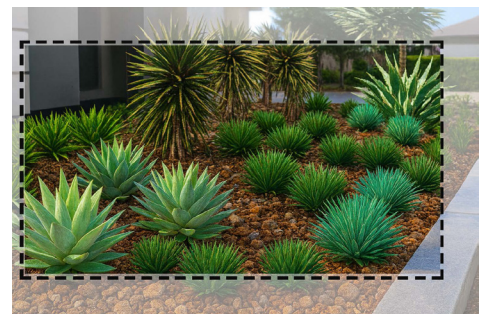
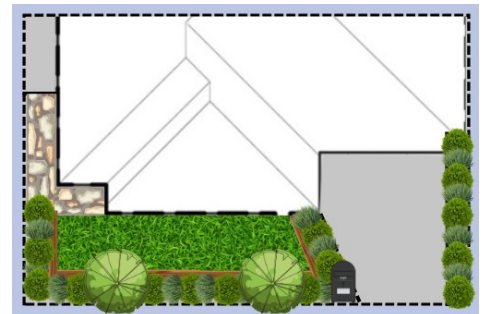
# 14. Front landscaping

PLANNING & ENVIRONMENT ACT 1987  
 WHITTLESEA PLANNING SCHEME  
 Planning Permit No: 718020  
 Application Ref. No.: PLN-46070  
 Endorsed to show compliance with Condition (s) 5  
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These guidelines ensure that all front gardens are thoughtfully designed to create attractive and cohesive spaces between homes and within each lot. Well designed front landscaping softens the appearance of built form, enhances streetscape character, and provides a welcoming interface between the dwelling and the street. At Riverhills, the use of native plants that present well throughout all seasons is encouraged to maintain visual appeal year round and contribute to vibrant neighbourhood character.

### Requirements:

- Front garden landscaping must be completed to an acceptable standard within 120 days of receiving the Certificate of Occupancy.
- Letterboxes must complement the dwelling design. A robust structure (such as a rendered pillar style letterbox) located near the front boundary is encouraged. All letterboxes must clearly display the street number. Single post letter boxes are not permitted.
- All areas forward of the return fencing must be landscaped.
- No more than 40% of the front garden area (including the driveway) may consist of hard surfaces such as paving, unless otherwise approved by the DRP. Permeable surfaces such as pebbles, stepping pavers in gravel, crushed rock or lawn are strongly encouraged.
- Planting must be provided within the 400mm landscaping strip between the driveway and the nearest side boundary.
- Garden beds must be mulched and densely planted to ensure full coverage at maturity. A minimum of three plants per m2 is required.
- A minimum of two deep rooted trees must be planted within each front garden (1 tree for Small Lot Housing Code (SLHC) Lots).
- Front gardens should include a variety of plant forms, textures and colours to create visual interest.
- Plant species must not include vegetation listed as Weeds of National Significance ([environment.gov.au](http://environment.gov.au)) or classified as Invasive Plants (Vic) ([agriculture.vic.gov.au](http://agriculture.vic.gov.au))



## 15. Services & outbuildings

PLANNING & ENVIRONMENT ACT 1987

WHITTLESEA PLANNING SCHEME

Planning Permit No: 718020

Application Ref. No.: PLN-46070

Endorsed to show compliance with Condition (s) 5

Sheet 23 of 26 Date: 29/04/2026

The thoughtful integration of service items and outbuildings is essential to ensure functionality without detracting from the appearance of the dwelling, the streetscape or neighbouring properties. Careful consideration of location, screening and design helps maintain a tidy and visually consistent neighbourhood character.

### Requirements

- a. All ancillary items and services including, but not limited to, water tanks, air conditioners, clotheslines, bins, satellite dishes, antennas and service meters, must be sited unobtrusively and screened from public view. Their location must be shown on house plans submitted for DRP approval.
- b. All external plumbing and associated equipment, including spa pumps or motors, must be concealed from public view. Downpipes and gutters are exempt but must complement the dwelling's colour scheme.
- c. Air conditioning units must be located below the roof ridge line and positioned towards the rear of the property to minimise visual impact. Units must blend in colour with adjoining walls or roofing, be low profile, and, where required, fitted with noise baffles.
- d. Roof fixtures are not permitted on front elevations. Solar panels may be installed on north facing front roofs if they are flat or integrated with the roof pitch.
- e. Internal window furnishings must be installed within three months of occupancy. Sheets, blankets or similar materials are not acceptable as window coverings.
- f. Security shutters, sunblinds, shade sails and canvas awnings are not permitted where visible from public areas.
- g. Sheds and outbuildings must be appropriately sized and sited to minimise visibility and impact on adjoining properties and the streetscape. The DRP will assess these structures on merit; however, excessively large structures will not be approved
- h. Ancillary structures, such as pergolas and verandahs, must be unobtrusive and consistent with or complementary to the dwelling design.
- i. Signage is restricted to a single 'Home for Sale' sign, which may only be erected after construction is complete. No other signs, including 'For Sale' or promotional signage, are permitted.
- j. Each dwelling must include dual plumbing to allow for the use of recycled water for toilet flushing and garden irrigation.

# 16. Submission requirements

**PLANNING & ENVIRONMENT ACT 1987  
WHITTLESEA PLANNING SCHEME  
Planning Permit No: 718020  
Application Ref. No.: PLN-46070  
Endorsed to show compliance with Condition (s) 5  
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Please complete the following submit to the Design Review Panel with your submission documents for approval.

### Allotment details

Lot Number: \_\_\_\_\_

Street: \_\_\_\_\_

### Owner Details

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

### Contact

Phone Number: \_\_\_\_\_

Email: \_\_\_\_\_

### Builder details

Company: \_\_\_\_\_

Contact person: \_\_\_\_\_

Mailing address: \_\_\_\_\_

Phone number: \_\_\_\_\_

Email: \_\_\_\_\_

### Correspondence

To be sent to Owner or Builder (please circle)

Attachment checklist: (please tick)

- Site plan
- Floor plan/s
- Elevations
- External colours & materials

### NOTE:

- Plans & elevations must also be submitted for any proposed verandahs, carports, sheds or similar.
- If submitted via post, plans must be provided in A3 format.
- All documents submitted via email must be in pdf format.
- It is the purchaser's responsibility to ensure that proposals comply with applicable building regulations and any applicable planning and/or authority requirements along with current Victorian energy rating standards prior to construction.
- Approval from the DRP is not an endorsement that proposals comply with the above-mentioned requirements.

For enquiries, please contact the DRP on 0413 137 465

### SUBMIT APPLICATIONS TO::

riverhills@finnis.com.au

If documents cannot be submitted via email in pdf format, please mail to:

**Finnis**  
Level 1, 16 Armonstrong St.  
Middle Park VIC 3206  
(enter via laneway on Canterbury Pl)

or call (03) 9948 9900



# The Ridge

at Riverhills

PLANNING & ENVIRONMENT ACT 1987  
WHITTLESEA PLANNING SCHEME  
Planning Permit No: 718020  
Application Ref. No.: PLN-46070  
Endorsed to show compliance with Condition (s) 5  
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